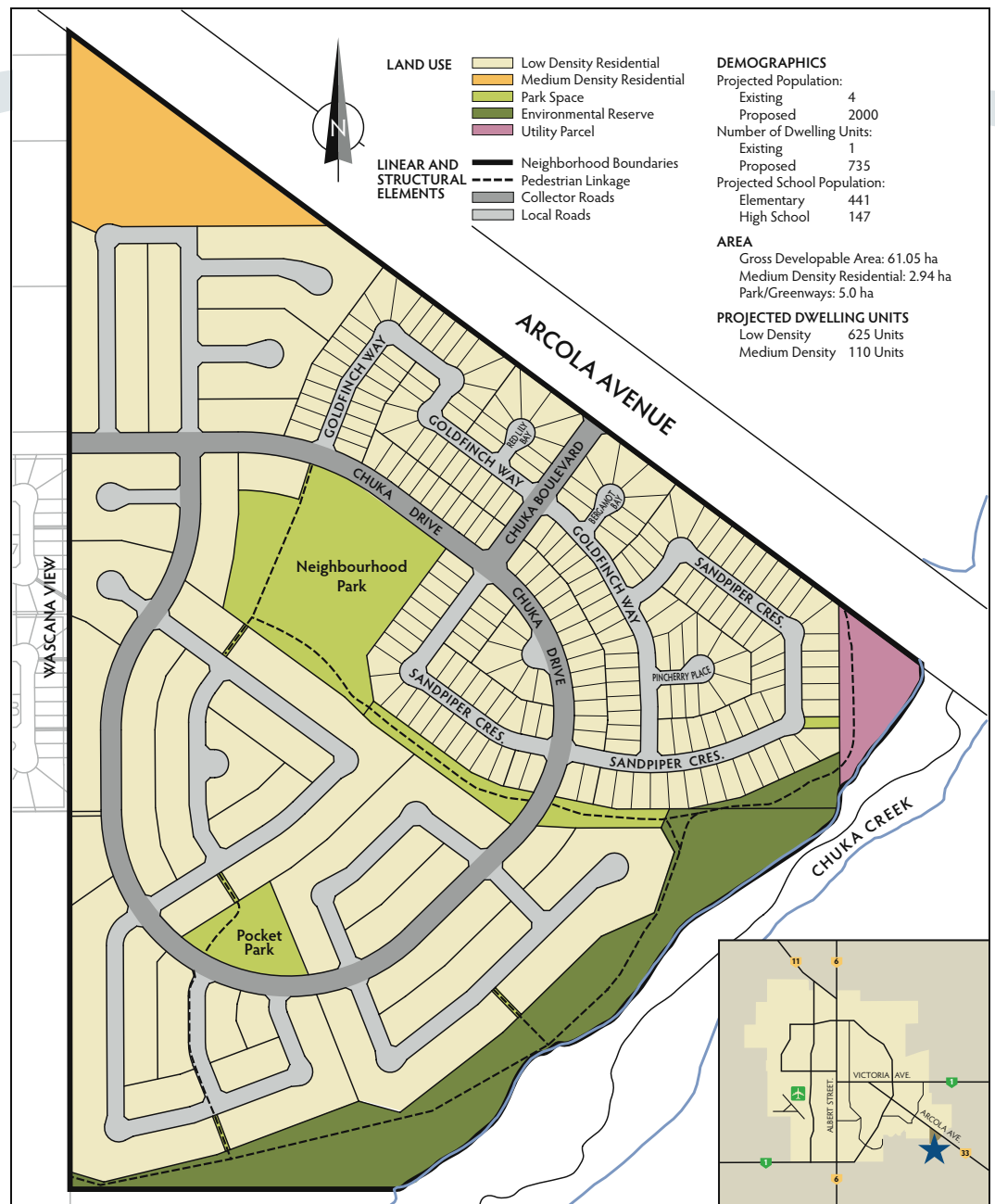


Located adjacent to Wascana View and Chuka Creek in south-east Regina, The Creeks features quiet residential crescents, cul-du-sacs and prestige lots along a significant natural prairie habitat.

Major features include:

- your choice of 625 residential lots
- residential condominium units
- spacious lots from 35–42.5 m deep and 14.5–18.25 m wide
- an extensive system of neighbourhood walking paths and green collectors
- over 12 acres of landscaped park space in addition to environmental reserve areas
- Chuka Creek borders the southern boundaries of the development, and flows into the adjacent McKell Wascana Conservation Project
- no commercial development
- low traffic volumes



3251 Eastgate Dr.  
Regina, SK S4Z 1A4  
306-522-2300

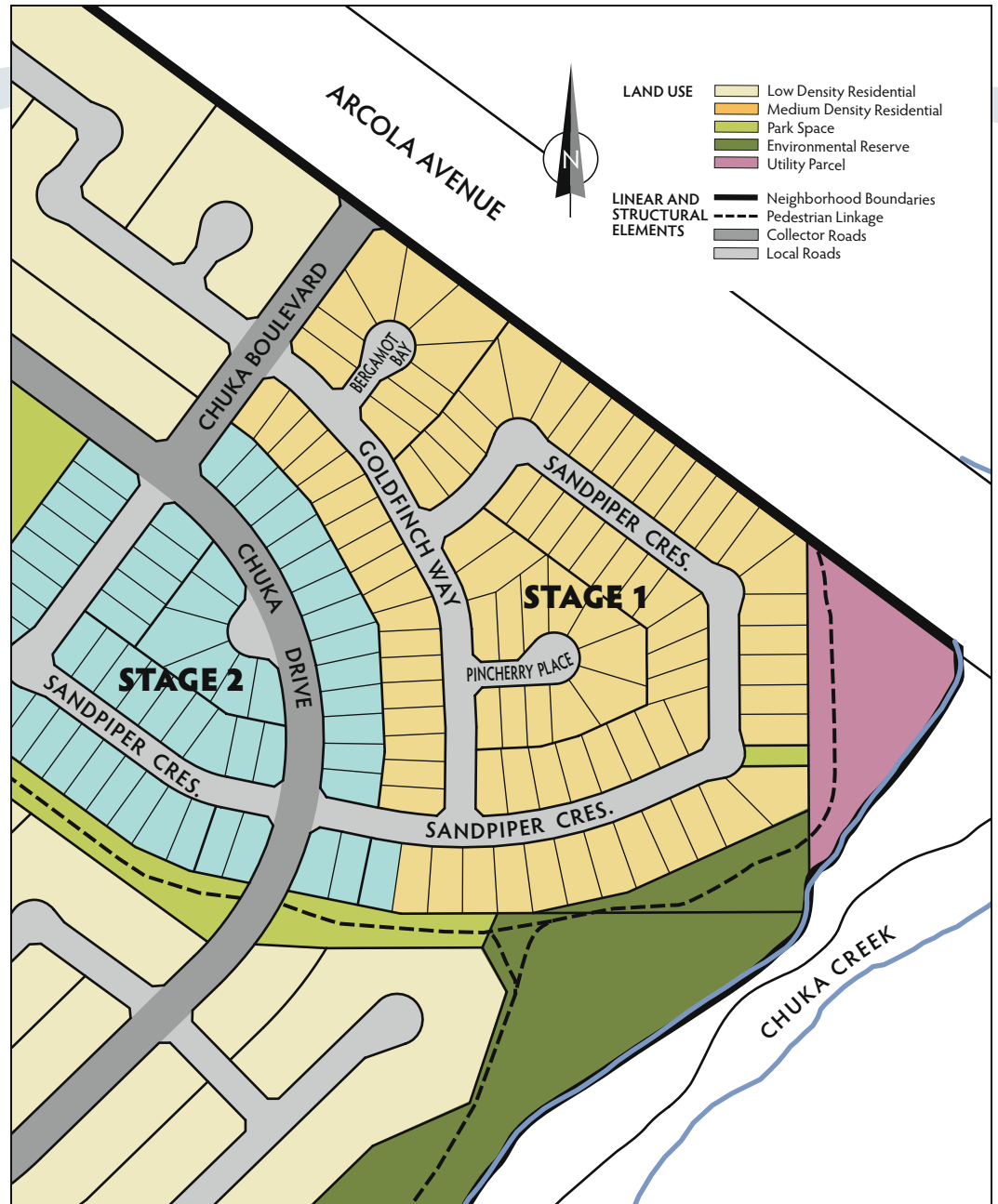
STAGE ONE  
DEVELOPMENT



Built by some of Regina's most qualified and experienced builders, the homes of the The Creeks will feature a variety of contemporary floor plans to suit your lifestyle.

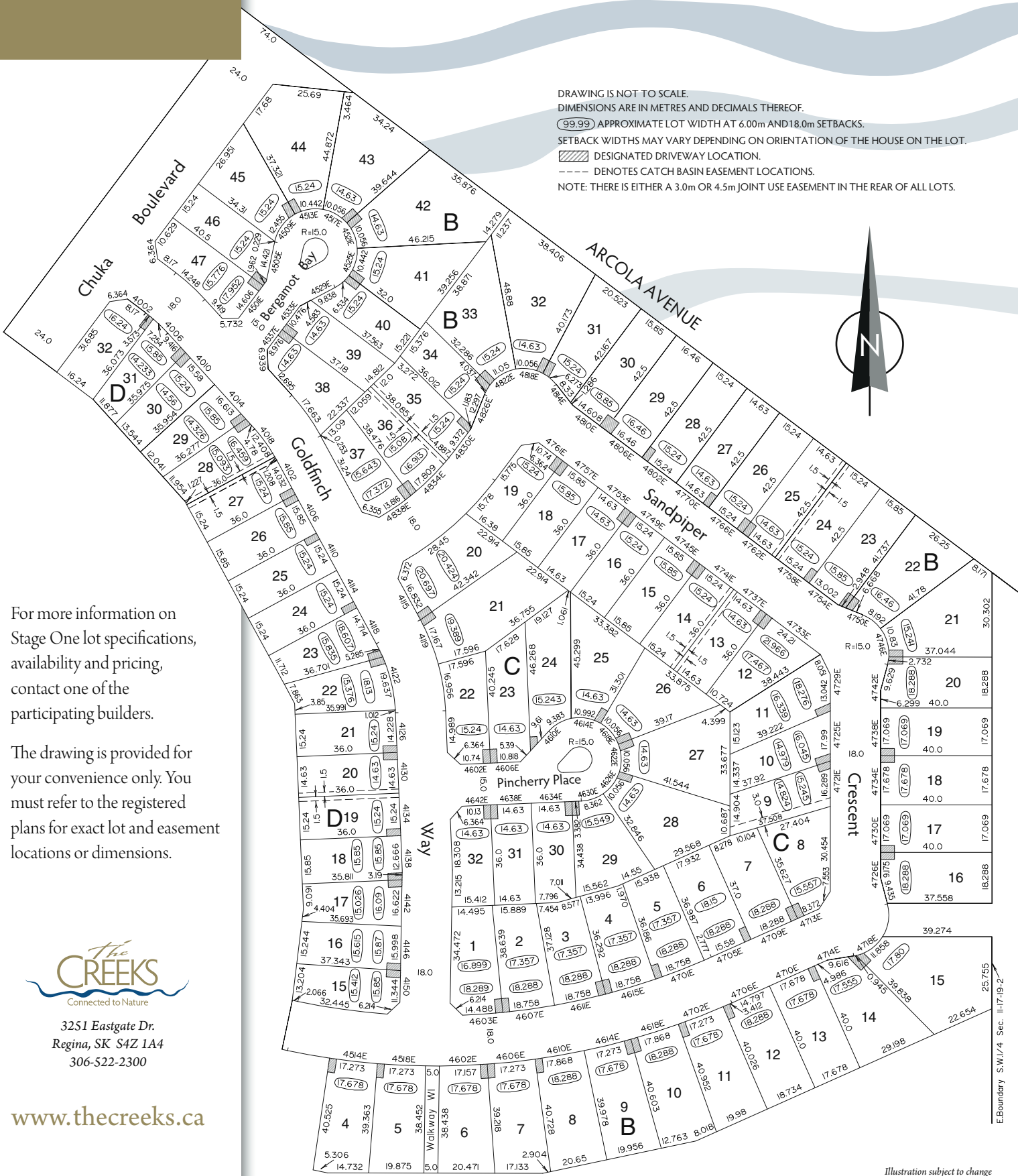
Stage One offers 94 spacious lots for immediate purchase, several of which back onto environmental reserve area.

For more information on lot availability and pricing contact one of the participating builders.



3251 Eastgate Dr.  
Regina, SK S4Z 1A4  
306-522-2300

[www.thecreeks.ca](http://www.thecreeks.ca)



DRAWING IS NOT TO SCALE.  
DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.  
99.99 APPROXIMATE LOT WIDTH AT 6.00m AND 18.0m SETBACKS.  
SETBACK WIDTHS MAY VARY DEPENDING ON ORIENTATION OF THE HOUSE ON THE LOT.  
DESIGNATED DRIVEWAY LOCATION.  
DENOTES CATCH BASIN EASEMENT LOCATIONS.  
NOTE: THERE IS EITHER A 3.0m OR 4.5m JOINT USE EASEMENT IN THE REAR OF ALL LOTS.

For more information on Stage One lot specifications, availability and pricing, contact one of the participating builders.

The drawing is provided for your convenience only. You must refer to the registered plans for exact lot and easement locations or dimensions.



3251 Eastgate Dr.  
Regina, SK S4Z 1A4  
306-522-2300

www.thecreeks.ca

These carefully designed streetscape elements will add to the pleasure of your new home ownership in The Creeks:

- *separated sidewalks, tree-lined boulevard entry, and wide streets with upgraded ornamental street lighting*
- *main entrance feature with site signage and landscaping on Chuka Boulevard*
- *ample room on residential streets for vehicular traffic and parking*
- *low traffic volumes*

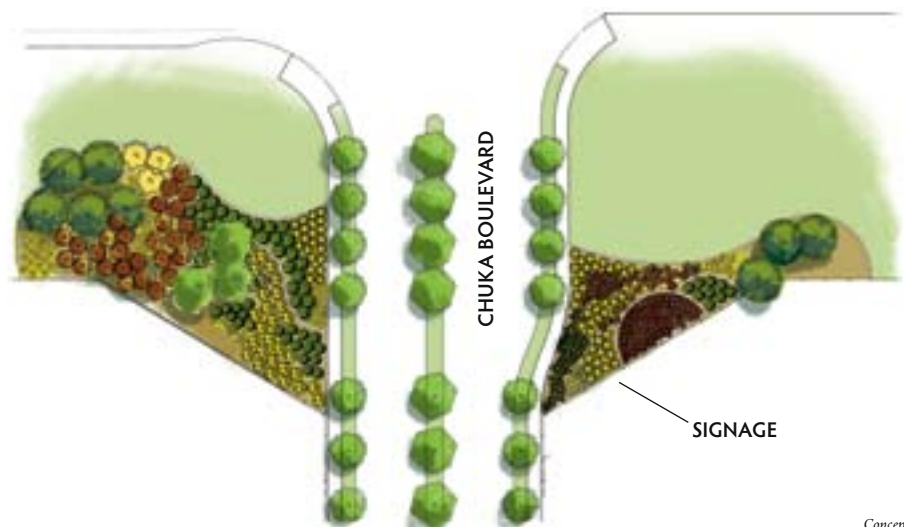
**Chuka Boulevard**  
**24 m section view**



**Typical residential street**  
**18 m section view**



**Entrance Feature**



3251 Eastgate Dr.  
Regina, SK S4Z 1A4  
306-522-2300

[www.thecreeks.ca](http://www.thecreeks.ca)

The Creeks features landscaped green spaces, linked walkways and neighbourhood parks for leisure, recreation and promoting active lifestyles.

Landscape elements include:

- *an extensive system of neighbourhood walking paths and green collectors*
- *spacious lots backing onto open spaces, parks and environmental areas*
- *two neighbourhood parks featuring: multi-purpose field, play structures, tree-lined pathways, bicycle stands, berming, plant beds, seating and rest areas*

### Neighbourhood Park



MARKETING  
PLAN  
STAGE TWO



For more information on Stage Two lot specifications, availability and pricing, contact one of the participating builders.

The drawing is provided for your convenience only. You must refer to the registered plans for exact lot and easement locations or dimensions.

DRAWING IS NOT TO SCALE  
DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.  
99.99 APPROXIMATE LOT WIDTH AT 6.00m AND 18.0m SETBACKS.  
SETBACK WIDTHS MAY VARY DEPENDING ON ORIENTATION OF THE HOUSE ON THE LOT.  
DESIGNATED DRIVEWAY LOCATION.  
NOTE: THERE IS EITHER A 3.0m OR 4.5m JOINT USE EASEMENT IN THE REAR OF ALL LOTS.



3251 Eastgate Dr.  
Regina, SK S4Z 1A4  
306-522-2300

www.thecreeps.ca

MARKETING  
PLAN  
PHASE TWO



For more information on Phase Two lot specifications, availability and pricing, contact one of the participating builders.

The drawing is provided for your convenience only. You must refer to the registered plans for exact lot and easement locations or dimensions.

DRAWING IS NOT TO SCALE

DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.

99.99 APPROXIMATE LOT WIDTH AT 6.00m AND 18.0m SETBACKS.

SETBACK WIDTHS MAY VARY DEPENDING ON ORIENTATION OF THE HOUSE ON THE LOT.

DESIGNATED DRIVEWAY LOCATION.

NOTE: THERE IS EITHER A 3.0m OR 4.5m JOINT USE EASEMENT IN THE REAR OF ALL LOTS.



3251 Eastgate Dr.  
Regina, SK S4Z 1A4  
306-522-2300

www.thecreeks.ca

Illustration subject to change